

# SHOPS AT MAIN/TRANSIT

4401 - 4455 TRANSIT RD | CLARENCE (AMHERST), NEW YORK

***ANCHOR, JR ANCHOR & IN-LINE  
RETAIL SPACE AVAILABLE***



4053 MAPLE ROAD  
AMHERST, NY 14226  
PHONE (716) 833-4986 EXT 382  
WWW.BENCHMARKGRP.COM  
KEVIN ZUGGER  
KZUGGER@BENCHMARKGRP.COM

# SHOPS AT MAIN/TRANSIT

4401-4455 TRANSIT ROAD

CLARENCE/AMHERST, NEW YORK

- AVAILABLE FOR IMMEDIATE LEASE:
  - ♦ 30,000 SQ FT ANCHOR POSITION
  - ♦ 10,320 SQ FT JR ANCHOR POSITION
  - ♦ 1,195 SQ FT, 1,752 SQ FT AND 4,300 SQ FT IN-LINE
- CURRENT TENANTS INCLUDE BARNES & NOBLE, BED BATH & BEYOND, PETCO, OFFICE DEPOT, GOODWILL, AAA (CAR CARE, INSURANCE, TRAVEL, ETC.) KEY BANK, NORTHWEST BANK, SKECHERS, MASSAGE ENVY, MIRACLE EAR, TESLA SUPERCHARGER STATION, BRENNAN'S BOWERY BAR, THIS LITTLE PIG AND SALSARITA'S
- LOCATED AT ONE OF THE MOST HEAVILY TRAVELED INTERSECTIONS IN WESTERN NEW YORK, WHICH PROVIDES ACCESS TO THE THREE FASTEST GROWING AREAS, CLARENCE, EAST AMHERST AND LANCASTER
- NYS THRUWAY (I-90) ACCESS LOCATED ONE MILE SOUTH
- TRAFFIC COUNTS: OVER 57,000 VEHICLES PASS THE SITE DAILY
- CONTACT KEVIN ZUGGER FOR FURTHER INFORMATION

<u>DEMOGRAPHICS</u>			
	<u>1MILE</u>	<u>3MILE</u>	<u>5MILE</u>
<u>POPULATION</u>	4,676	46,001	155,496
<u>AVG HH INCOME</u>	\$111,844	\$127,989	\$111,766

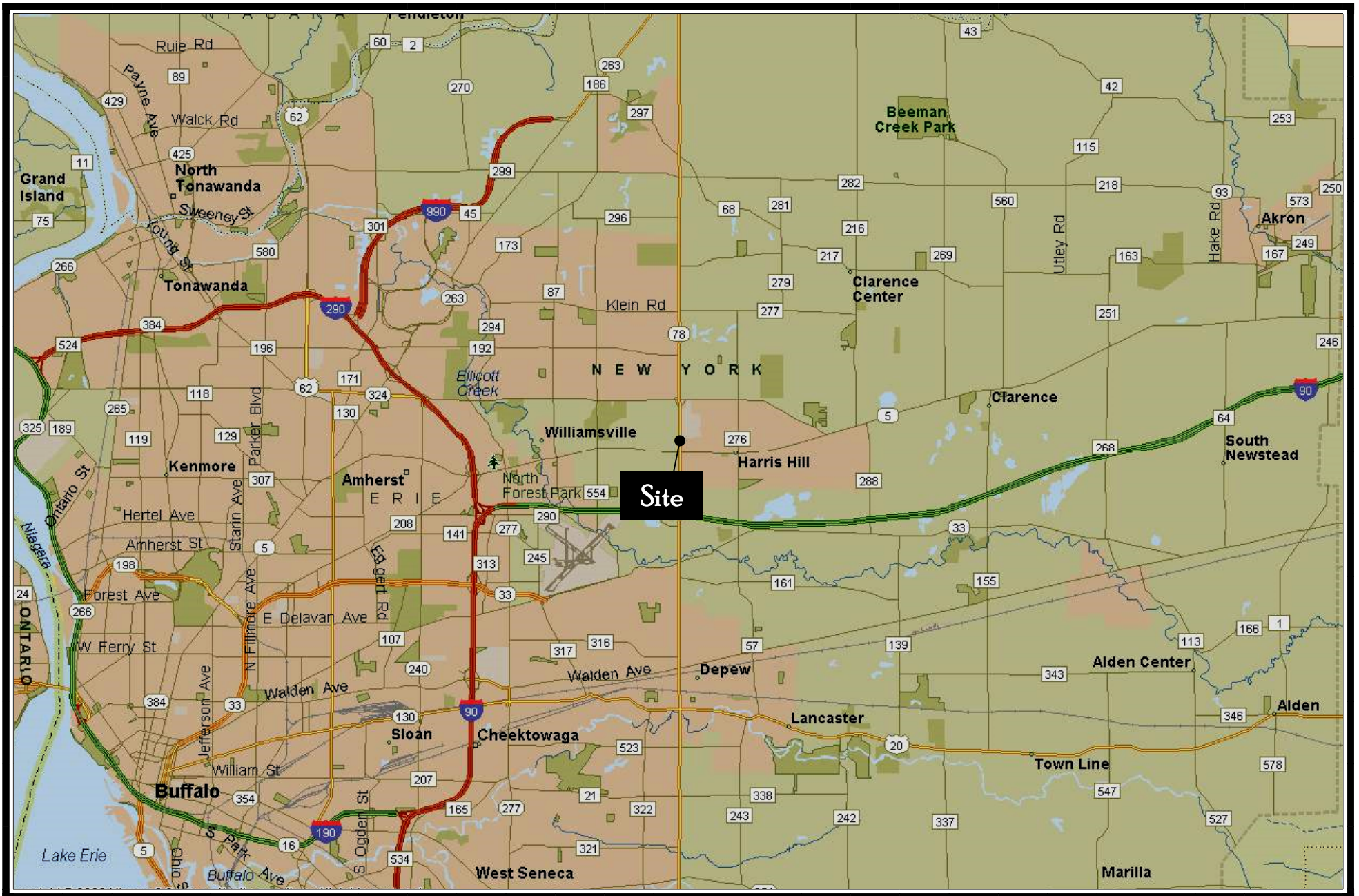


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CLARENCE/AMHERST,  
NEW YORK

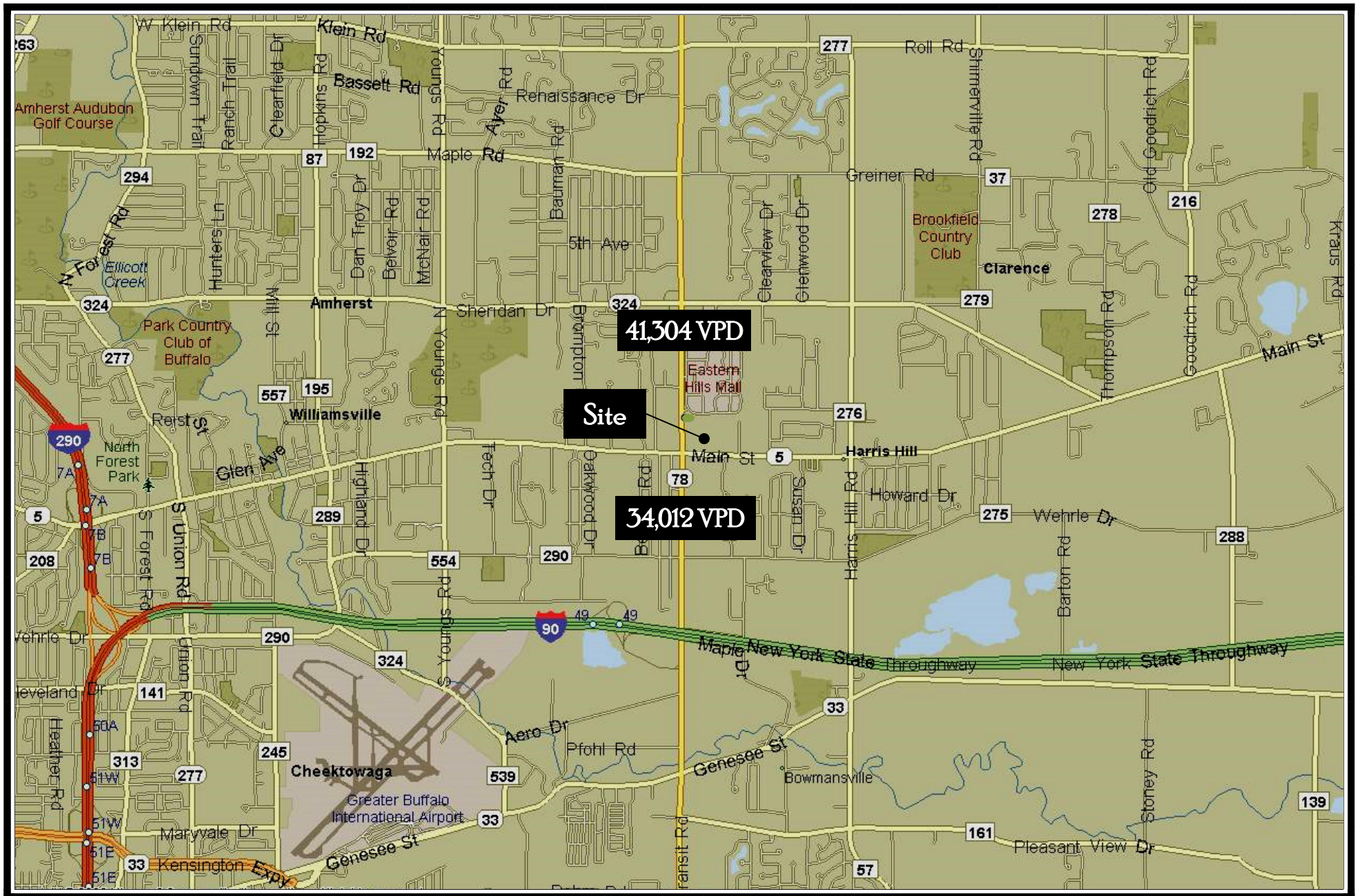






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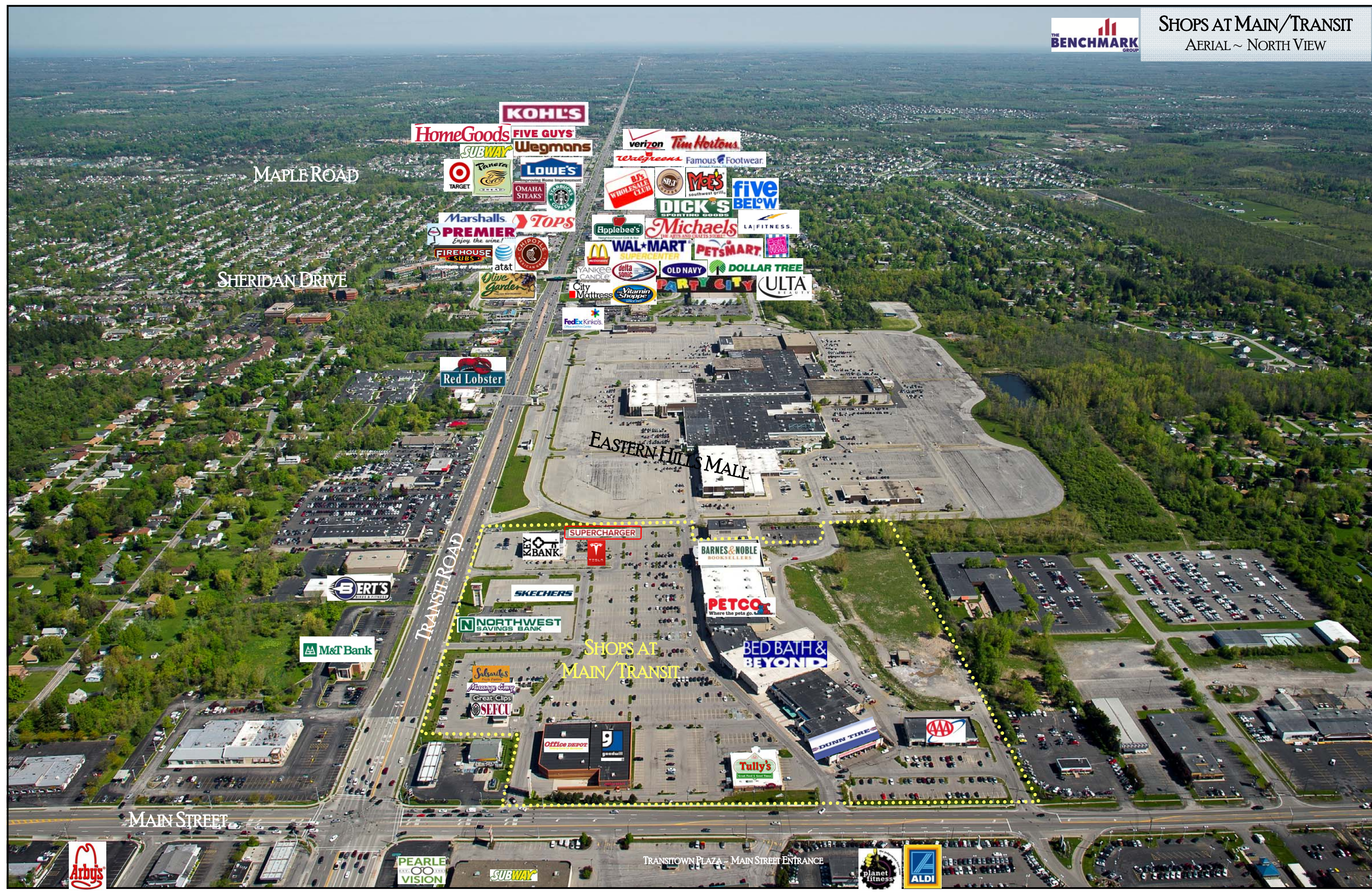
30,000 sf  
ANCHOR AVAILABLE

10,320 sf  
JR ANCHOR AVAILABLE



SHOPS AT MAIN/TRANSIT ~ CLARENCE, NEW YORK





MAPLE ROAD

SHERIDAN DRIVE

EASTERN HILLS MALL

TRANSIT ROAD

MAIN STREET

SHOPS AT  
MAIN/TRANSIT

TRANSIT TOWN PLAZA - MAIN STREET ENTRANCE





GENESEE STREET

TRANSIT ROAD

BUFFALO/  
NIAGARA INTL  
AIRPORT



WEHRLE DRIVE

MAIN STREET

SHOPS AT  
MAIN/TRANSIT

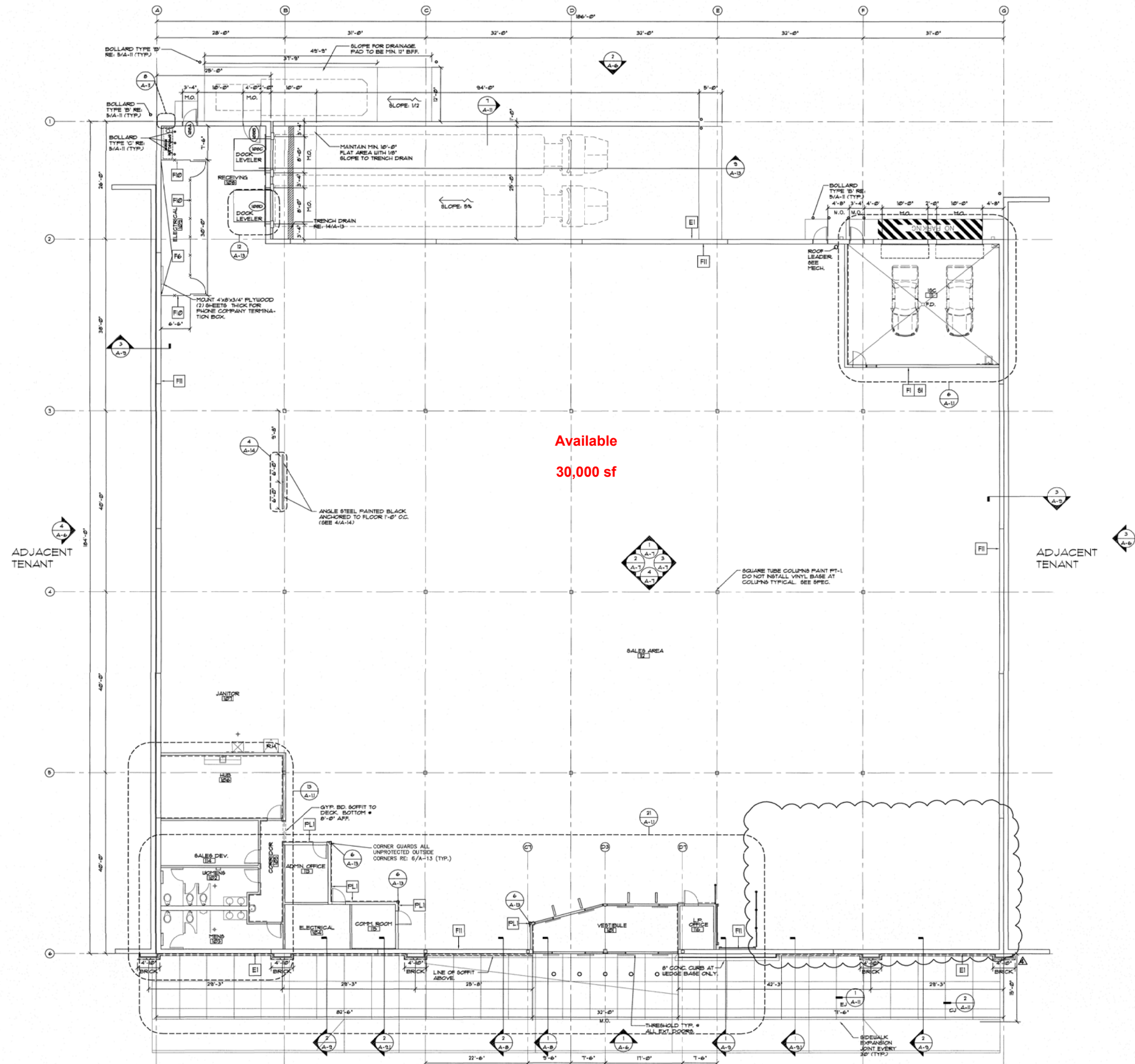
EASTERN HILLS MALL











WALL TYPES - LEGEND:	
SEE SHEET A-1 FOR GENERAL NOTES SEE SHEET A-1 FOR CEILING HEIGHTS SEE SPECIFICATIONS FOR STUD SPACING	
E1	TYPICAL EXTERIOR WALL CONSTRUCTION: 12" EXPOSED CONCRETE BLOCK WALL CORE FILLED WITH INSULATION
S1	6" STEEL STUDS EXTEND TO UNDERSIDE OF ROOF DECK
S2	3 5/8" STEEL STUDS TO 9'-6" AFF. OR 6' ABOVE CEILING HEIGHT.
S3	3 5/8" STEEL STUDS TO 11'-1" AFF.
S4	3 5/8" STEEL STUDS TO 8'-0" AFF.
S5	3 5/8" STEEL STUDS TO DECK.
S6	<del>6" TYPE 'X' GYP. BD. ON STAGGERED 8" STUDS. FIRE RESIST. BOTH SIDES TO UNDER SIDE OF ROOF DECK. SOUND INSULATION FROM FINISHED FLOOR TO UNDERSIDE OF ROOF DECK.</del>
F1	5/8" TYPE 'X' GYP. BD. TO UNDERSIDE OF ROOF DECK.
F2	5/8" TYPE 'X' GYP. BD. TO 6' ABOVE CEILING HEIGHT.
F3	5/8" TYPE 'X' GYP. BD. TO TOP OF FRAMING.
F4	5/8" GYP. BD. OVER 1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 6' ABOVE CEILING HEIGHT.
F5	1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 5'-0" AFF.
F6	3/4" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 8'-0" AFF.
F7	1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 5'-0" AFF.
F8	3/4" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO UNDERSIDE OF ROOF DECK.
P3	SOUND INSULATION FROM FINISHED FLOOR TO CEILING.
F10	CHAINLINK FENCE TO 8'-0" AFF. POSTS • 10'-0" O.C. AT TWO LOCATIONS PROVIDE 3'-6" WIDE SWINGING GATE WITH PROVISIONS FOR 1/2" PAD LOCK. BEC TO PROVIDE LOOKS.
F11	INTERIOR SIDE OF CHU. TOOLED FOR FINISHED SURFACE TO BE PAINTED.
F12	5/8" TYPE 'X' GYP. BD. TO 6' ABOVE CEILING OVER 1/2" PLYWOOD BACKING TO ATTACH WALL MOUNTED PARTITIONS.
PL1	PVC SHEET WAINSCOT TO 38" AFF. WITH 1" MOLDING. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER. RE: 3/A-13
PL2	PLASTIC LAMINATE TOILET PARTITIONS. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER.
PL3	PLASTIC LAMINATE CABINETS AND COUNTERTOPS IN HUB. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER.

GENERAL NOTES

- 1 SPRINKLER RISER TO BE IN RECEIVING.
- 2 ALL ROOM DIMENSIONS ARE INSIDE  
WALL CLEAR DIMENSIONS.
- 3 ALL FIXTURES WILL BE SUPPLIED &  
INSTALLED BY SI.
- 4 ALL FIXTURE BASES TO RECEIVE 4" VINYL  
BASE. SUPPLIED AND INSTALLED BY  
GENERAL CONTRACTOR.
- 5 IN SALES AREA ONLY. ALL WALLS NOT  
COVERED BY FIXTURES TO RECEIVE  
4" COVE VINYL BASE.
- 6 REFER TO ELECTRICAL DRAWINGS TO  
DETERMINE LOCATION OF UNDERFLOOR  
CONDUIT FOR ELECTRICAL AND LOW  
VOLTAGE.
- 7 INSTALL VERTICAL EXPANSION JOINT  
TYPICAL AT COLUMN GRID LINES AND AT  
THE HEAD OF DOOR JAMB/ OPENINGS.  
TO REDUCE STRESS CRACKING. CONFIRM  
WITH STRUCTURAL. NO CONTRS.  
JOINT/EXPANSION JOINT • CHU WALL/JOIST  
GIRDER BEARING. KEEP AWAY 2'-6" MIN.
- 8 INSTALL CORNER GUARDS ON ALL  
UNPROTECTED OUTSIDE CORNERS.  
RE: 6/A-13.
- 9 PROVIDE DEEP LEG TOP TRACK NOT  
FASTENED TO STUDS TO ALLOW FOR  
VERTICAL EXPANSION OF WALLS & ROOF  
STRUCTURE. ADDITIONALLY, PROVIDE  
VERTICAL EXPANSION JOINTS AS REQUIRED  
TO PREVENT CRACKS IN WALLS.
- 10 PROVIDE HORIZONTAL BRACING AT TOP  
OF WALLS AS NEEDED AT LOW PARTITION  
WALLS THAT ARE FREE STANDING.
- 11 PROVIDE ADEQUATE 2X WOOD BLOCKING  
FOR FIXTURES, PLUMBING ACCESSORIES,  
ELECTRIC WATER COOLER, MILLWORK,  
ELECTRIC PANELS, ROOF ACCESS  
LADDER, ETC.
- 12 ROOF LADDER TO HAVE OSHA APPROVED  
LADDER EXTENSION BEYOND ROOF LINE.  
NO ROOF HATCH SHALL BE WITHIN 6'-0" OF  
OUTSIDE WALL.



DeVolf  
Partnership  
Architects LLP

3855 CARRINGTON AVENUE  
SUITE 200  
216-581-2600 FAX 216-581-2648

SQ. FT. CALCS	25,444 SF
DETAIL:	3602 SF
STAIRS:	932 SF
TOTAL:	30,038 SF
CONCEPT:	30K C-5.3
CONCEPT DATE:	09-21-06
G.C.-21 FIXTURE REL.	
G.C.-13 FINAL REL.	
STORE NUMBER:	1455

CLARENCE NY

AS-BUILTS

CRITERIA SET	12-05-06
REV. DATE	2/5/07
Δ	6/8/07
Δ	
Δ	
Δ	
Δ	

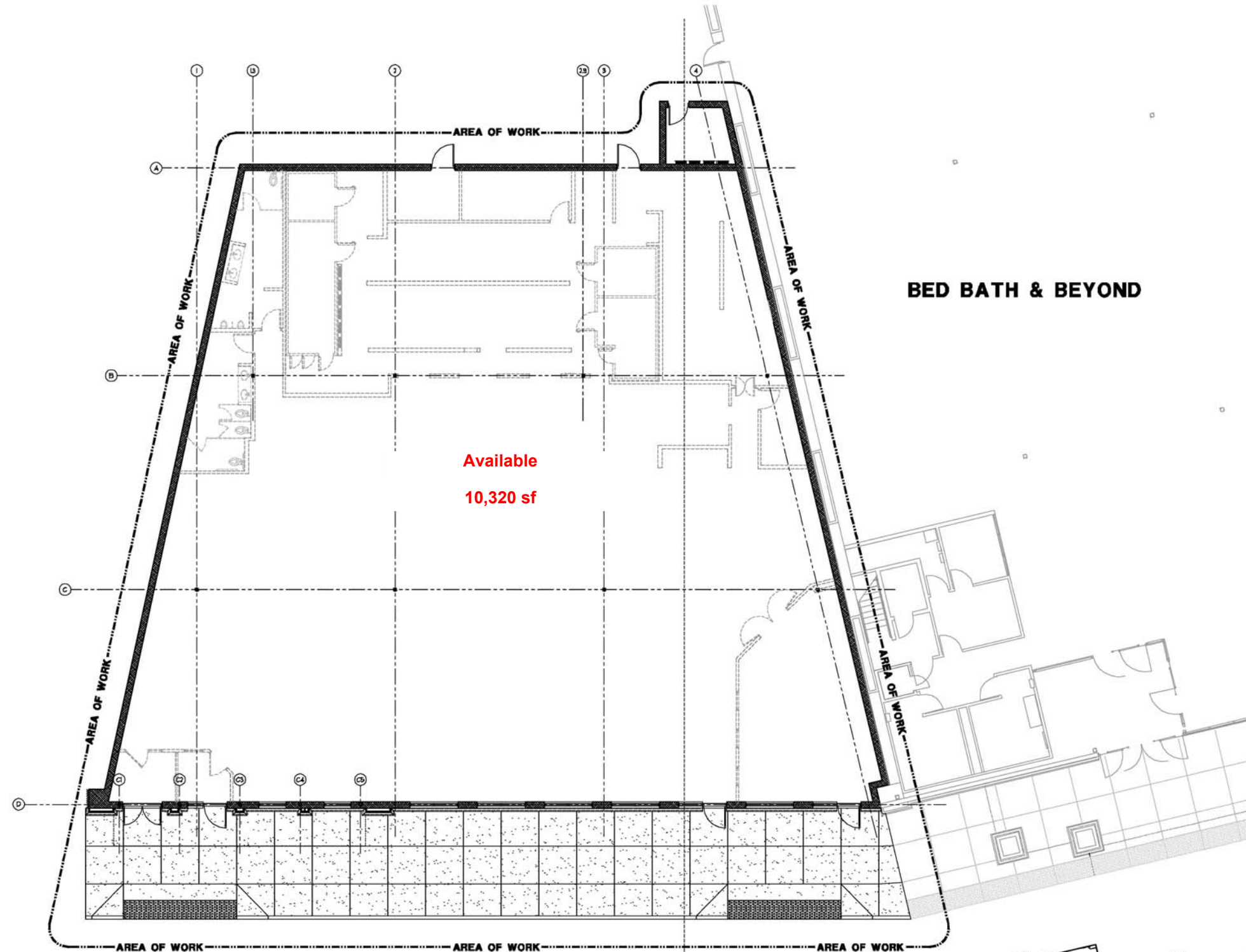
SCALE:  
1/8" = 1'-0"

FLOOR PLAN

A-1

sheet revisions date location owner information architects seal consultant





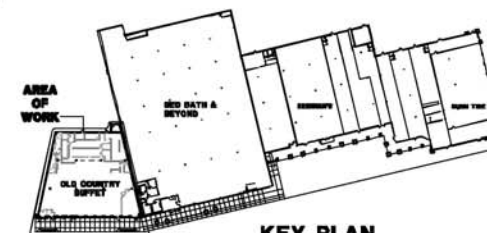
1 PARTIAL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTION OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.

2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.



KEY PLAN  
NOT TO SCALE



3855 CARNEGIE AVENUE  
CLEVELAND, OHIO 44115  
216-881-2660, FAX 216-881-2648

SEAL SEAL

ENGINEER

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COMPUTERIZED ARCHITECTURAL GRAPHICS SYSTEM

REVISIONS		
NO.	DATE	DESCRIPTION
1	8/13/05	ISSUED FOR BIDDING

SHOPS @ MAIN &  
TRANSIT PHASE II  
OLD COUNTRY BUFFET  
SHELL PACKAGE  
CLARENCE, NEW YORK  
14226  
FOR  
THE BENCHMARK GROUP

PROJECT NAME

CONSTRUCTION DOCUMENTS  
PHASE

GROUND FLOOR  
PLAN

DRAWING TITLE

1/8" = 1'-0"  
SCALE

C5-008 PROJECT NO.	MZ-1 DRAWN BY
6/17/05 DATE	TBP CHECKED BY

A1.01  
DRAWING NO.



