

SHOPS AT MAIN/TRANSIT

4401 - 4455 TRANSIT RD | CLARENCE (AMHERST), NEW YORK

**ANCHOR, JR ANCHOR & IN-LINE
RETAIL SPACE AVAILABLE**



4053 MAPLE ROAD
AMHERST, NY 14226
PHONE (716) 833-4986 EXT 382
WWW.BENCHMARKGRP.COM
KEVIN ZUGGER
KZUGGER@BENCHMARKGRP.COM

SHOPS AT MAIN/TRANSIT

4401-4455 TRANSIT ROAD

CLARENCE/AMHERST, NEW YORK

- AVAILABLE FOR IMMEDIATE LEASE:
 - ♦ 30,000 SQ FT ANCHOR POSITION
 - ♦ 10,320 SQ FT JR ANCHOR POSITION
 - ♦ 1,195 SQ FT, 1,752 SQ FT AND 4,300 SQ FT IN-LINE
- CURRENT TENANTS INCLUDE BARNES & NOBLE, BED BATH & BEYOND, PETCO, OFFICE DEPOT, GOODWILL, AAA (CAR CARE, INSURANCE, TRAVEL, ETC.) KEY BANK, NORTHWEST BANK, SKECHERS, MASSAGE ENVY, MIRACLE EAR, TESLA SUPERCHARGER STATION, BRENNAN'S BOWERY BAR, THIS LITTLE PIG AND SALSARITA'S
- LOCATED AT ONE OF THE MOST HEAVILY TRAVELED INTERSECTIONS IN WESTERN NEW YORK, WHICH PROVIDES ACCESS TO THE THREE FASTEST GROWING AREAS, CLARENCE, EAST AMHERST AND LANCASTER
- NYS THRUWAY (I-90) ACCESS LOCATED ONE MILE SOUTH
- TRAFFIC COUNTS: OVER 57,000 VEHICLES PASS THE SITE DAILY
- CONTACT KEVIN ZUGGER FOR FURTHER INFORMATION

<u>DEMOGRAPHICS</u>			
	<u>1MILE</u>	<u>3MILE</u>	<u>5MILE</u>
<u>POPULATION</u>	4,676	46,001	155,496
<u>AVG HH INCOME</u>	\$111,844	\$127,989	\$111,766

SHOPS AT
MAIN/TRANSIT

CLARENCE/AMHERST,
NEW YORK





SHOPS AT MAIN/TRANSIT ~ CLARENCE, NEW YORK



SHOPS AT MAIN/TRANSIT ~ CLARENCE, NEW YORK

30,000 sf
ANCHOR AVAILABLE

10,320 sf
JR ANCHOR AVAILABLE



SHOPS AT MAIN/TRANSIT ~ CLARENCE, NEW YORK



MAPLE ROAD

SHERIDAN DRIVE

KOHL'S
HomeGoods FIVE GUYS Wegmans
SUBWAY Target Panera Lowe's
OMAHA STEAKS Starbucks
Marshall's TOPS
PREMIER Enjoy the wine! FIREHOUSE SUBS
at&t Olive Garden
WAL-MART SUPERCENTER
McDonald's YANKEE CANDLE
City Mattress Vitamin Shoppe
FedEx Kinko's
verizon Tim Hortons
Walgreens Famous Footwear
BJ's Wholesale Club SBJ Me's southwest grill five BELOW
DICK'S SPORTING GOODS
Applebee's Michaels LA FITNESS
PETS MART
OLD NAVY DOLLAR TREE
PARTY CITY ULTA

Red Lobster

EASTERN HILLS MALL

TRANSIT ROAD

BERT'S GREEN WAREHOUSE

M&T Bank

KEY BANK SUPERCHARGER
SKECHERS
NORTHWEST SAVINGS BANK
BARNES & NOBLE BOOKSELLERS
PETCO Where the pets go.
BED BATH & BEYOND

SHOPS AT MAIN/TRANSIT

Salsarita's
Missionary Great Clips
SEFCU

Office DEPOT
gandall

Tully's

DUNN TIRE

AAA

MAIN STREET

Arby's

PEARLE VISION

SUBWAY

TRANSIT TOWN PLAZA - MAIN STREET ENTRANCE

planet fitness

ALDI

GENESEE STREET

BUFFALO/
NIAGARA INTL
AIRPORT

TRANSIT ROAD



WEIRLE DRIVE



MAIN STREET



SHOPS AT
MAIN/TRANSIT



EASTERN HILLS MALL



DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY: PMB
 DRAWN BY: SNK
 CHECKED BY: WES
 DATE: MAY 2007

WARNING:
 ALTERING THIS DOCUMENT IS IN VIOLATION OF
 THE LAW EXCEPTING AS PROVIDED IN SECTION
 7209B, PART 2 OF THE NEW YORK STATE
 ENGINEERING LAW, ENACTED IN 2005
 WM SCHUTT & ASSOCIATES P.C.



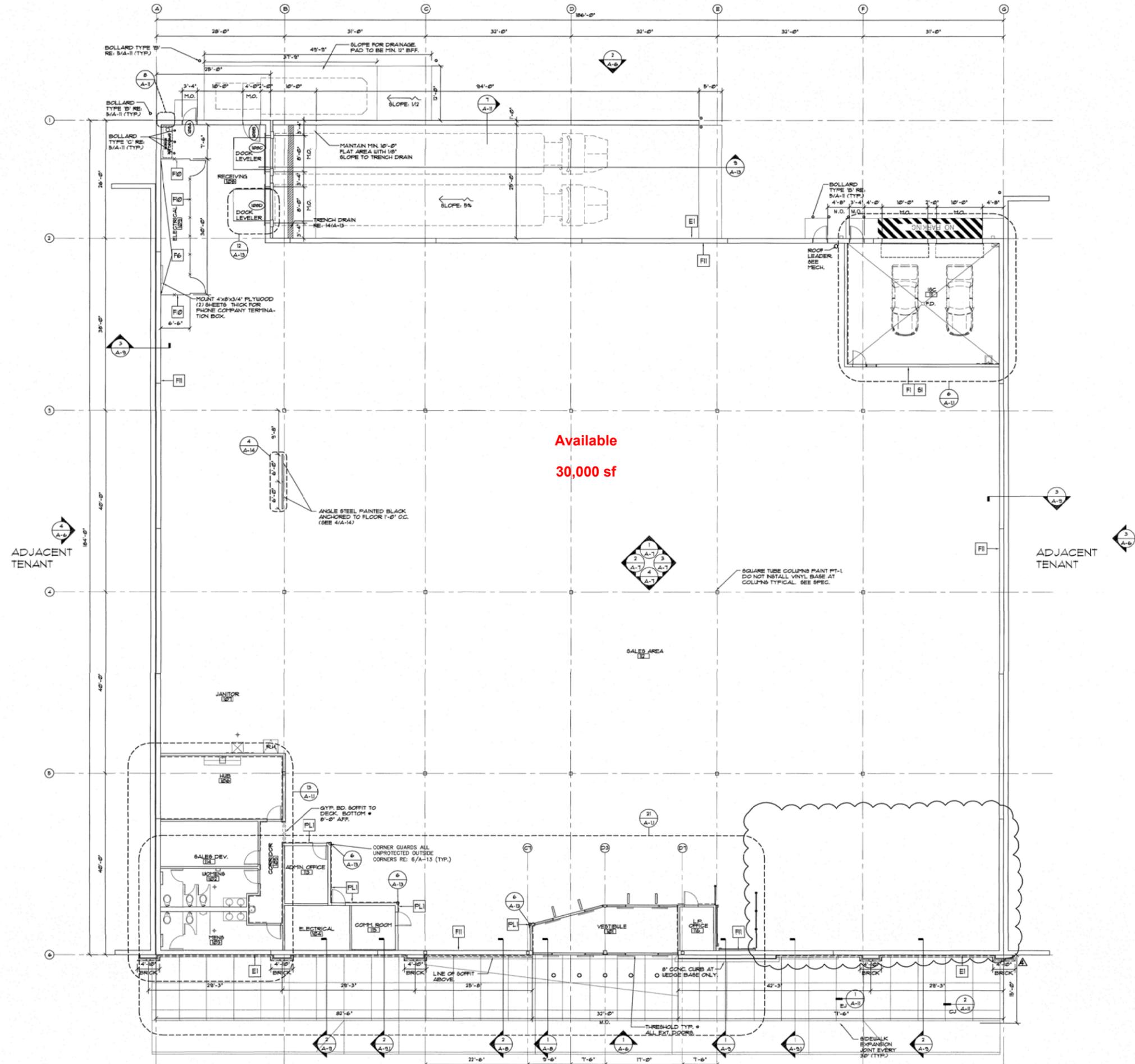
ENGINEERING
LAND SURVEYING
 WM SCHUTT & ASSOCIATES, P.C.
 100 W. MAIN STREET, SUITE 2143
 LANCASTER, NY 13652-1433
 PH: 716-680-9861
 WWW.WMSCHUTT.COM
 SUTTINGHAM MEMBER - THE NEW YORK STATE
 SOCIETY OF PROFESSIONAL ENGINEERS

THE SHOPS AT MAIN - TRANSIT
MAIN STREET @ TRANSIT ROAD
TOWN OF CLARENCE - ERIE COUNTY - NEW YORK
UPDATED OVERALL SITE LAYOUT PLAN

THIS SHEET ISSUED MAY 15, 2007

DRAWING SCALE: 1"=60'

WSA PROJECT NO. 05012



- WALL TYPES - LEGEND:** (05-09-08)
 SEE SHEET A-1 FOR GENERAL NOTES
 SEE SHEET A-1 FOR CEILING HEIGHTS
 SEE SPECIFICATIONS FOR STUD SPACING
- E1 TYPICAL EXTERIOR WALL CONSTRUCTION. 12" EXPOSED CONCRETE BLOCK WALL CORE FILLED WITH INSULATION.
 - S1 4" STEEL STUDS EXTEND TO UNDERSIDE OF ROOF DECK.
 - S2 3 5/8" STEEL STUDS TO 9'-6" AFF. OR 6' ABOVE CEILING HEIGHT.
 - S3 3 5/8" STEEL STUDS TO 11'-1" AFF.
 - S4 3 5/8" STEEL STUDS TO 8'-0" AFF.
 - S5 3 5/8" STEEL STUDS TO DECK.
 - ~~S6 6" TYPE 'X' GYP. BD. ON 2" SPACED 4" STUDS. FIRE RES. BOTH SIDES TO UNDER FLOOR ROOF DECK. SOUND INSUL. FROM FINISHED FLOOR TO UNDERSIDE OF ROOF DECK.~~
 - F1 5/8" TYPE 'X' GYP. BD. TO UNDERSIDE OF ROOF DECK.
 - F2 5/8" TYPE 'X' GYP. BD. TO 6' ABOVE CEILING HEIGHT.
 - F3 5/8" TYPE 'X' GYP. BD. TO TOP OF FRAMING.
 - F4 5/8" GYP. BD. OVER 1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 6' ABOVE CEILING HEIGHT.
 - F5 1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 5'-0" AFF.
 - F6 3/4" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 8'-0" AFF.
 - F7 1/2" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO 5'-0" AFF.
 - F8 3/4" CDX PLYWOOD (FIRE TREATED AS REQUIRED BY CODE) TO UNDERSIDE OF ROOF DECK.
 - F9 SOUND INSULATION FROM FINISHED FLOOR TO CEILING.
 - F10 CHAINLINK FENCE TO 8'-0" AFF. POSTS @ 10'-0" O.C. AT TWO LOCATIONS PROVIDE 3'-6" WIDE SWINGING GATE WITH PROVISIONS FOR 1/2" PAD LOCK. BBC TO PROVIDE LOCKS.
 - F11 INTERIOR SIDE OF CHU. TOGGLED FOR FINISHED SURFACE TO BE PAINTED.
 - F12 5/8" TYPE 'X' GYP. BD. TO 6' ABOVE CEILING OVER 1/2" PLYWOOD BACKING TO ATTACH WALL MOUNTED PARTITIONS.
 - PL1 PVC SHEET WANSKOT TO 36" AFF. WITH 1" MOLDING. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER. RE: 3/A-13.
 - PL2 PLASTIC LAMINATE TOILET PARTITIONS. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER.
 - PL3 PLASTIC LAMINATE CABINETS AND COUNTERTOPS IN HUB. SEE SPEC. FOR EXACT COLOR AND MANUFACTURER.

- GENERAL NOTES**
- 1 SPRINKLER RISER TO BE IN RECEIVING.
 - 2 ALL ROOM DIMENSIONS ARE INSIDE WALL CLEAR DIMENSIONS.
 - 3 ALL FIXTURES WILL BE SUPPLIED & INSTALLED BY SI.
 - 4 ALL FIXTURE BASES TO RECEIVE 4" VINYL BASE, SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
 - 5 IN SALES AREA ONLY, ALL WALLS NOT COVERED BY FIXTURES TO RECEIVE 4" COVE VINYL BASE.
 - 6 REFER TO ELECTRICAL DRAWINGS TO DETERMINE LOCATION OF UNDERFLOOR CONDUIT FOR ELECTRICAL AND LOW VOLTAGE.
 - 7 INSTALL VERTICAL EXPANSION JOINT (FINISH AT COLUMN GRID LINES AND AT THE HEAD OF DOOR JAMB) OPENINGS TO REDUCE STRESS CRACKING. CONFIRM WITH STRUCTURAL. NO CONTROLS. JOINT EXPANSION JOINT @ CHU WALL/JOIST GIRDER BEARING. KEEP AWAY 2'-6" MIN.
 - 8 INSTALL CORNER GUARDS ON ALL UNPROTECTED OUTSIDE CORNERS. RE: 6/A-13.
 - 9 PROVIDE DEEP LEG TOP TRACK NOT FASTENED TO STUDS TO ALLOW FOR VERTICAL EXPANSION OF WALLS & ROOF STRUCTURE. ADDITIONALLY, PROVIDE VERTICAL EXPANSION JOINTS AS REQUIRED TO PREVENT CRACKS IN WALLS.
 - 10 PROVIDE HORIZONTAL BRACING AT TOP OF WALLS AS NEEDED AT LOW PARTITION WALLS THAT ARE FREE STANDING.
 - 11 PROVIDE ADEQUATE 2X WOOD BLOCKING FOR FIXTURES, PLUMBING ACCESSORIES, ELECTRIC WATER COOLER, MILLWORK, ELECTRIC PANELS, ROOF ACCESS LADDER, ETC.
 - 12 ROOF LADDER TO HAVE OSHA APPROVED LADDER EXTENSION BEYOND ROOF LINE. NO ROOF HATCH SHALL BE WITHIN 6'-0" OF OUTSIDE WALL.



SG. FT. CALCS	
TOTAL	25,444 SF
STAGERS	3,602 SF
TOTAL	932 SF
TOTAL	30,038 SF
CONCEPT	30K C-5.3
CONCEPT DATE	09-21-06
G.C.-21 FIXTURE REL.	
G.C.-13 FINAL REL.	

STORE NUMBER: 1455

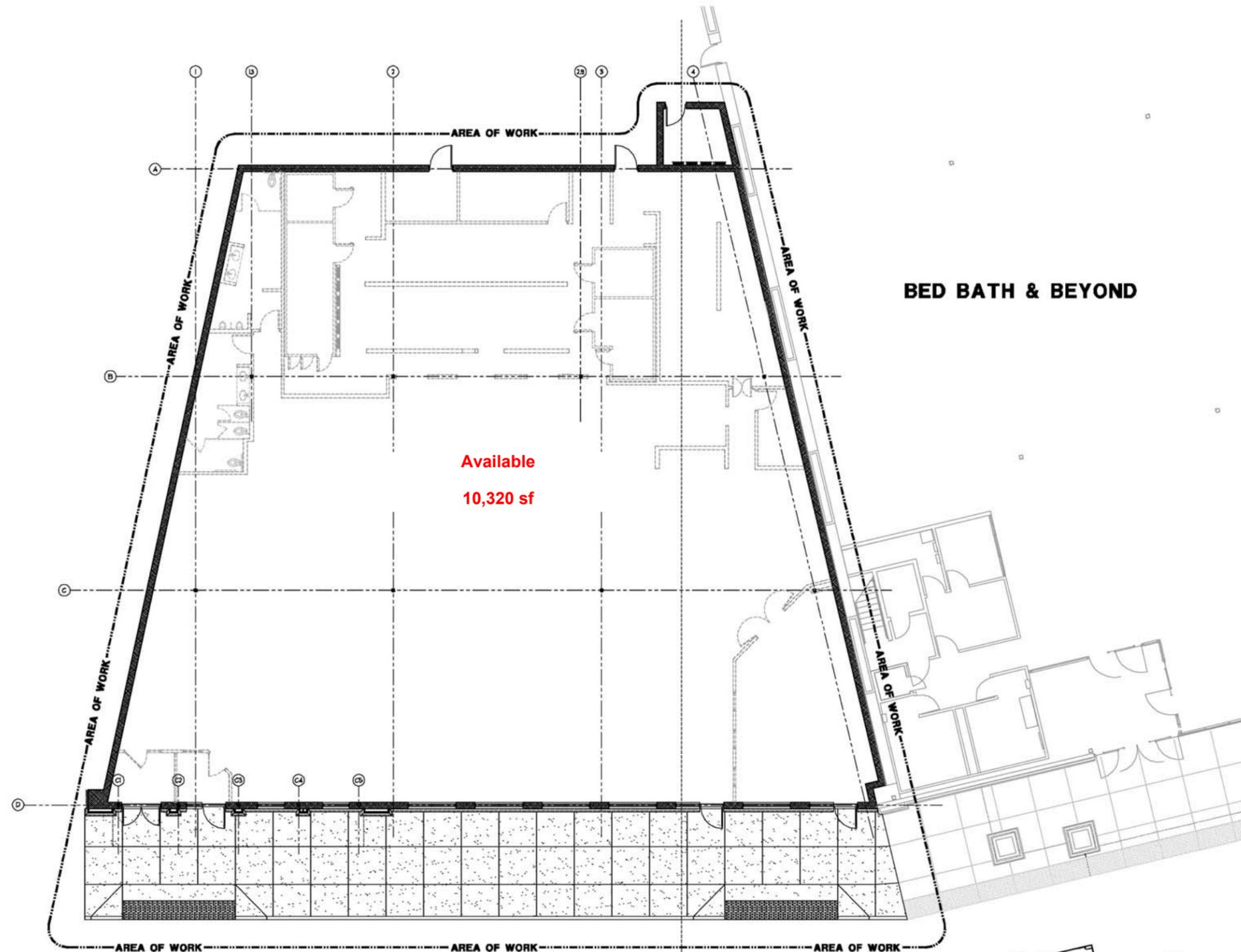
CLARENCE NY
 AS-BUILTS

CRITERIA SET	
12-05-06	
REV. DATE	2/5/07
6/8/07	

SCALE: 1/8" = 1'-0"
 FLOOR PLAN

A-1

sheet revisions date location owner information architect consultant



Available
10,320 sf

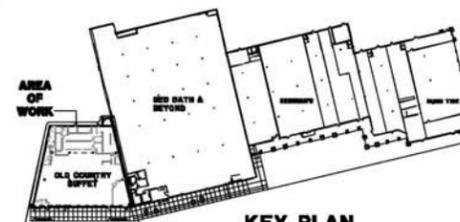
BED BATH & BEYOND

PARTIAL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTION OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS.



KEY PLAN

NOT TO SCALE



3855 CARNEGIE AVENUE
CLEVELAND, OHIO 44115
216-881-2660, FAX 216-881-2648

SEAL SEAL

ENGINEER

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COMPUTERIZED, ARCHITECTURAL GRAPHICS SYSTEM

REVISIONS

NO.	DATE	DESCRIPTION
1	6/17/05	ISSUED FOR BIDDING

SHOPS @ MAIN &
TRANSIT PHASE II
OLD COUNTRY BUFFET
SHELL PACKAGE
CLARENCE, NEW YORK
14226
FOR
THE BENCHMARK GROUP

PROJECT NAME

CONSTRUCTION DOCUMENTS
PHASE

GROUND FLOOR PLAN

DRAWING TITLE

1/8" = 1'-0"
SCALE

C5-02B

PROJECT NO.

6/17/05

DATE

M2M1

DRAWN BY

TBF

CHECKED BY

A1.01

DRAWING NO.

