

MAPLE OFFICE PARK

CORNER OF MAPLE RD & N. BAILEY AVE | AMHERST, NEW YORK

OFFICE SPACE AVAILABLE



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View From Maple Road



Courtyard

MAPLE OFFICE PARK

4023-4053 MAPLE ROAD / 4955 N. BAILEY AVE
AMHERST, NEW YORK

- Three, two-story buildings of office space with central atriums and elevators, and ample on-site parking located at Maple Road and N. Bailey Avenue
- The Maple Office Park, with its glass and brick exterior and European Renaissance design, is an innovative complex that was originated to meet the changing needs of the office community in the upscale Amherst area
- Finished offices including wall-to-wall carpeting, painted walls, dropped ceilings, recessed lighting, and corridor bathrooms
- The complex is located within one mile of two different exits on the I-290 (Youngman Hwy) which connects to the I-90 and I-190. Maple Road is a major east-west artery connecting Niagara Falls Blvd, Sweet Home Road and Transit Road
- The Maple Office Park is situated in the hub of Amherst's commercial district, close to regional attractions such as the Boulevard Mall, Boulevard Consumer Square, Maple Ridge Shopping Center, Sheridan Centre and the future Station Twelve. For your clients' and employees' convenience, there are a variety of eating establishments in the vicinity such as T.G.I. Fridays, Carrabba's Italian Grill, Red Lobster, Red Robin Gourmet Burgers & Brews, Olive Garden, Brickhouse Tavern, IHOP, Outback Steakhouse, Chili's, Panera Bread and several take-out/fast food restaurants. Likewise, there are numerous service related businesses nearby such as the United States Post Office, major hotels, and several banks. It is also at the doorstep of one of the largest public research institutions in the country, University at Buffalo
- Included in the rental figure are all utilities, common area maintenance charges including taxes, exterior maintenance and liability insurance, snow removal, landscaping, and grounds upkeep

DEMOGRAPHICS			
	<u>1 MILE</u>	<u>3 MILE</u>	<u>5 MILE</u>
<u>POPULATION</u>	8,796	111,137	305,646
<u>AVG HH INCOME</u>	\$52,873	\$62,641	\$58,490

MAPLE OFFICE PARK

AMHERST, NEW YORK

Locally owned and managed, Maple Office Park provides a professional environment with a number of clear advantages for its tenants, including excellent visibility and accessibility, superior local identification, and proximity to many nearby conveniences.

With emphasis on quality, Maple Office Park will provide a setting that insures that each tenant's employees will take pride in their work environment and should maximize the morale and productivity of each individual worker.

We would be delighted to have your company as a tenant in what we believe is one of the most outstanding complexes in the Western New York area. We look forward to establishing a positive, long-term relationship with you.

Contact Kevin Zugger for further information



All information furnished as submitted may be subject to errors and omissions. No warranty or representation is made as to accuracy thereof.





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MAPLE ROAD

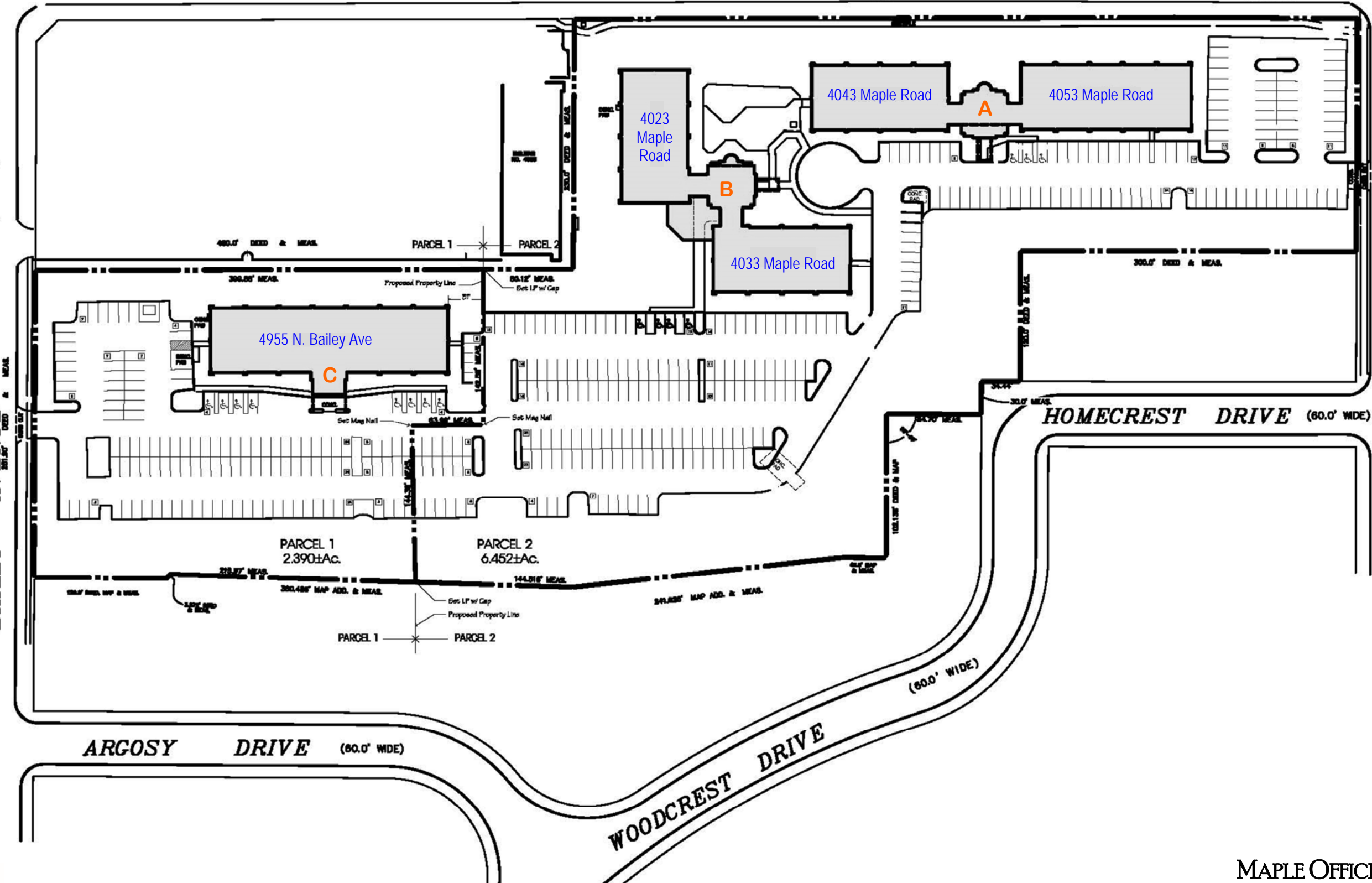
(100.0' WIDE)

840.95' MEAS.

187.80' MEAS.

(66.0' WIDE)

BAILEY AVENUE
DEED & MEAS.



HILLCREST DRIVE
DEED & MEAS. (60.0' WIDE)

HOMECREST DRIVE (60.0' WIDE)

ARGOSY DRIVE (60.0' WIDE)

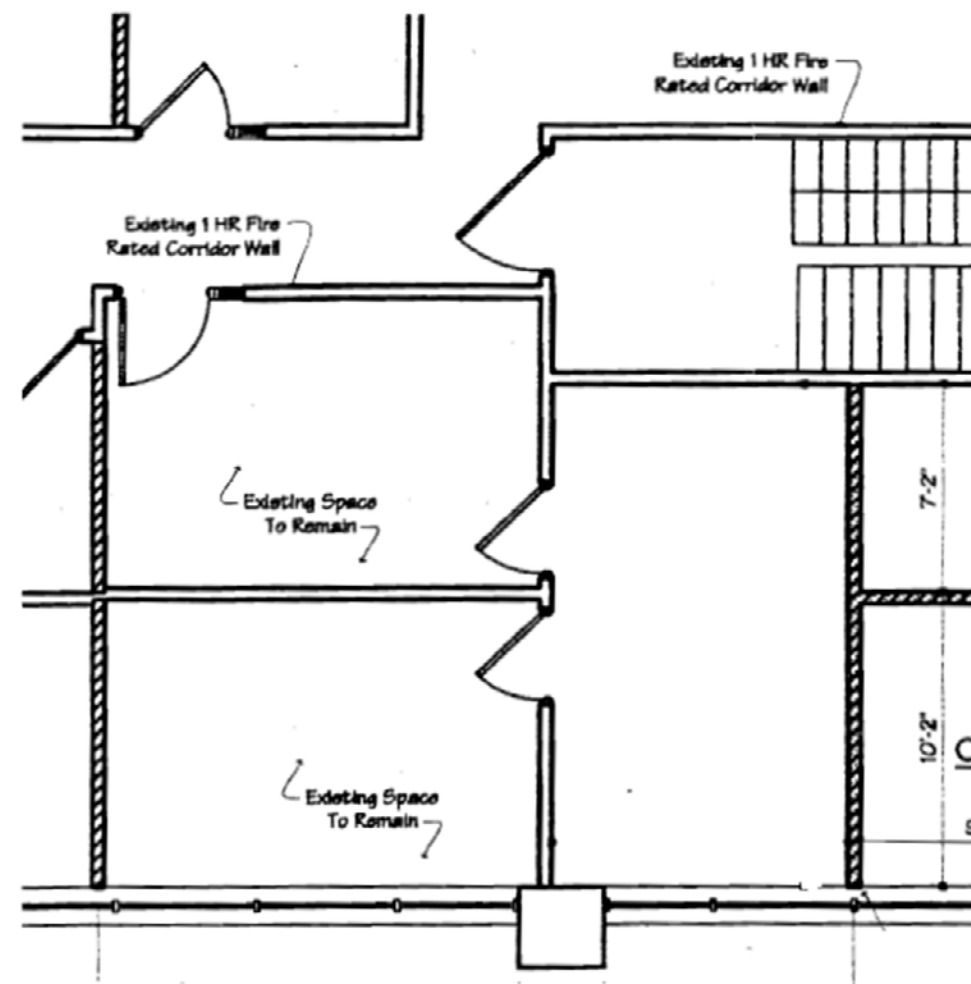
WOODCREST DRIVE
(60.0' WIDE)



MAPLE OFFICE PARK
OVERALL SITE PLAN

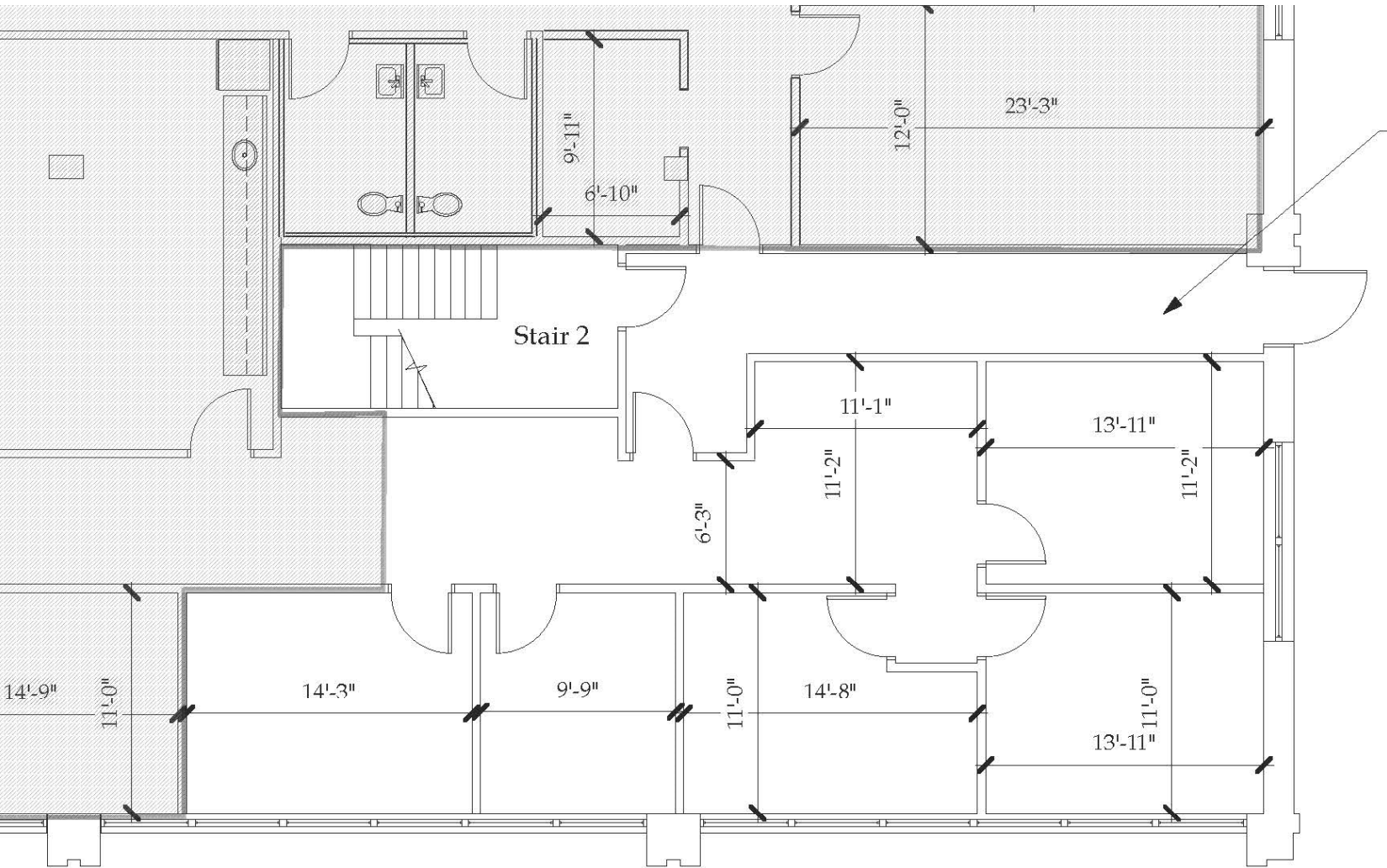
MAPLE OFFICE PARK
BLDG A ~ SUITE 106
4043 MAPLE RD - 1ST FLOOR

512 SF



MAPLE OFFICE PARK
BLDG B
4023 MAPLE RD - 1ST FLOOR

1,340 SF



MAPLE OFFICE PARK
BLDG C ~ SUITE 200
4955 N BAILEY AVE- 2ND FLOOR

+~1,486 SF

