

AVON SHOPPING CENTER

35405-35415 CHESTER ROAD | AVON, OHIO

RETAIL SPACE AVAILABLE



4053 MAPLE ROAD
AMHERST, NY 14226
PHONE (716) 833-4986 EXT 382
WWW.BENCHMARKGRP.COM
KEVIN ZUGGER
KZUGGER@BENCHMARKGRP.COM

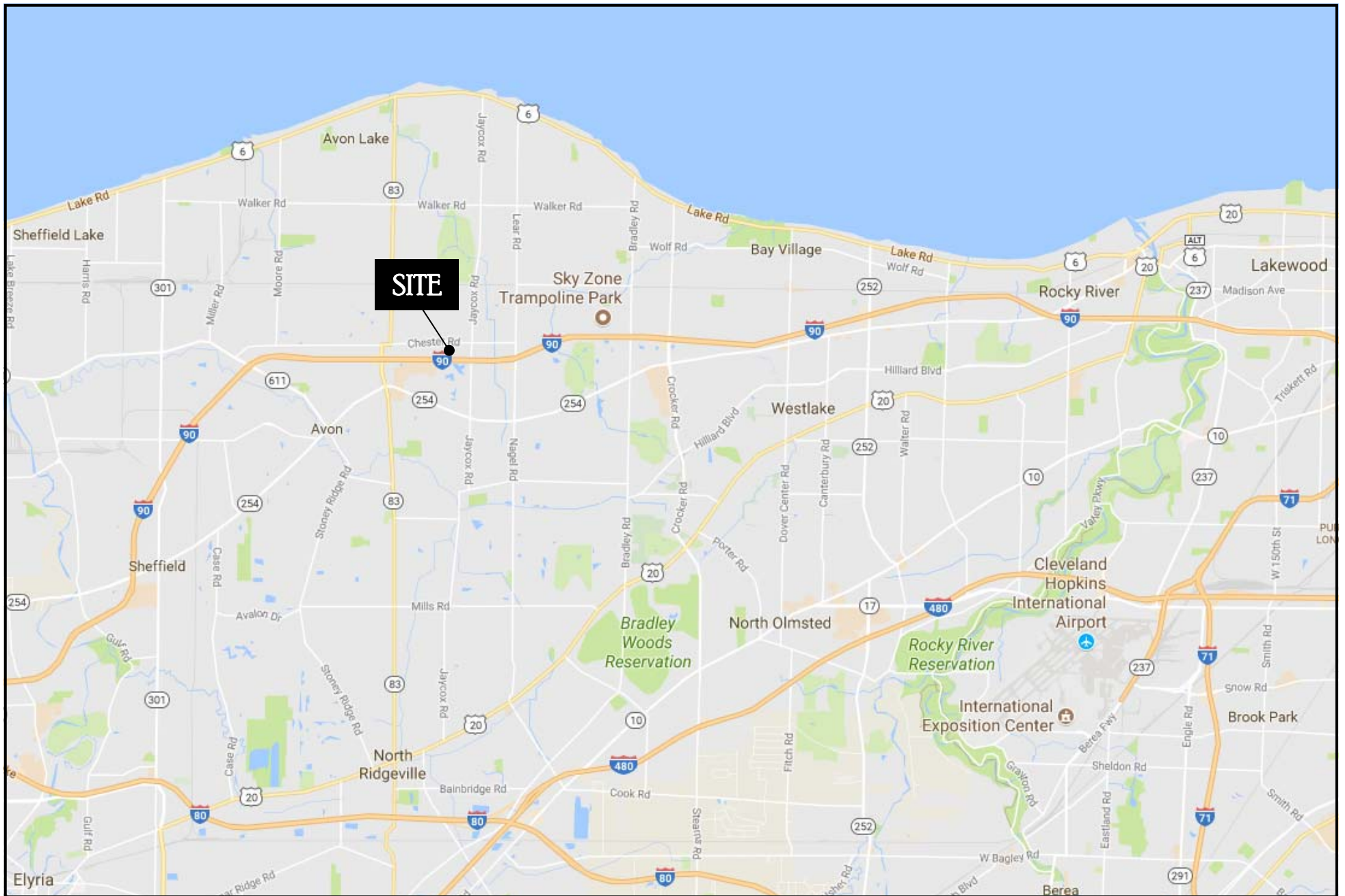
35405-35415 CHESTER ROAD

AVON, OHIO

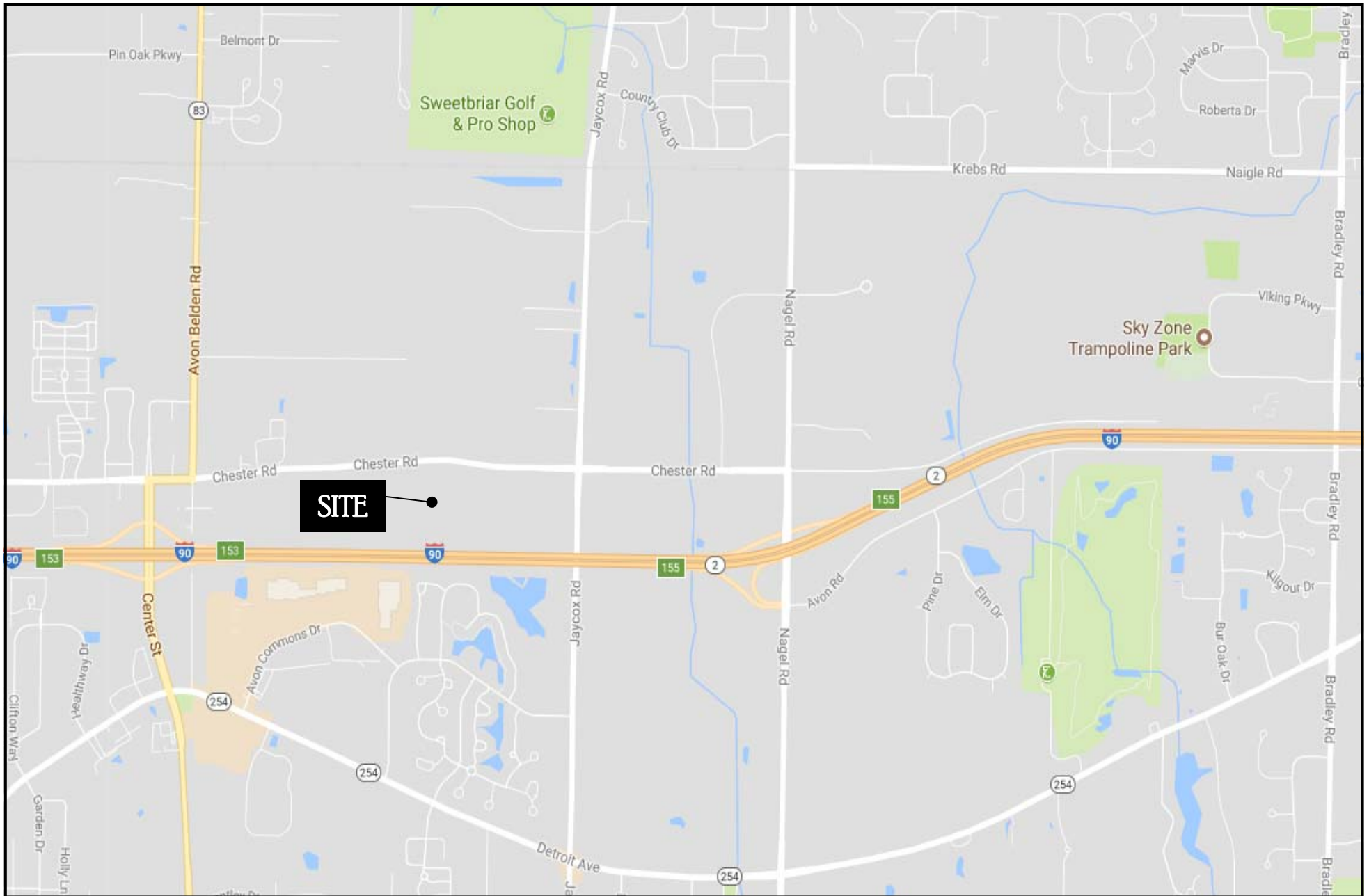
- 4,323 SQUARE FOOT END-CAP AVAILABLE FOR LEASE
- NEWLY CONSTRUCTED ASHLEY HOMESTORE, PARTY PLACE & CITY BBQ
- NEARBY TENANTS INCLUDE LOWE'S HOME IMPROVEMENT, MENARDS, HOME DEPOT, TARGET, DULUTH TRADING COMPANY, MARSHALLS, WALMART SUPERCENTER, COSTCO, MEIJER, CABELA'S, BEST BUY, JCPENNEY, KOHL'S, HOME GOODS, MARSHALLS, FIVE BELOW, PETCO, ALDI, PLANET FITNESS, HOBBY LOBBY, HEINEN'S GROCERY AND SEVERAL LOCAL AND NATIONAL RESTAURANTS
- EXCELLENT VISIBILITY AND ACCESS FROM TO I-90 (EXIT 153 OR 155) CLOSEBY
- TRAFFIC COUNTS ON I-90: 70,079 VEHICLES PER DAY
- CONTACT KEVIN ZUGGER FOR FURTHER INFORMATION

DEMOGRAPHICS		
	<u>1 MILE</u>	<u>2 MILE</u>
<u>POPULATION</u>	2,195	16,464
<u>AVG HH INCOME</u>	\$118,032	\$123,776





AVON, OH



AVON, OH



AVON, OH

CHESTER ROAD SUBDIVISION NO. 1

SITUATED IN CITY OF AVON, COUNTY OF LORAIN, AND STATE OF OHIO
AND KNOWN AS BEING PART OF ORIGINAL AVON TOWNSHIP SECTION NUMBERS 16 & 21

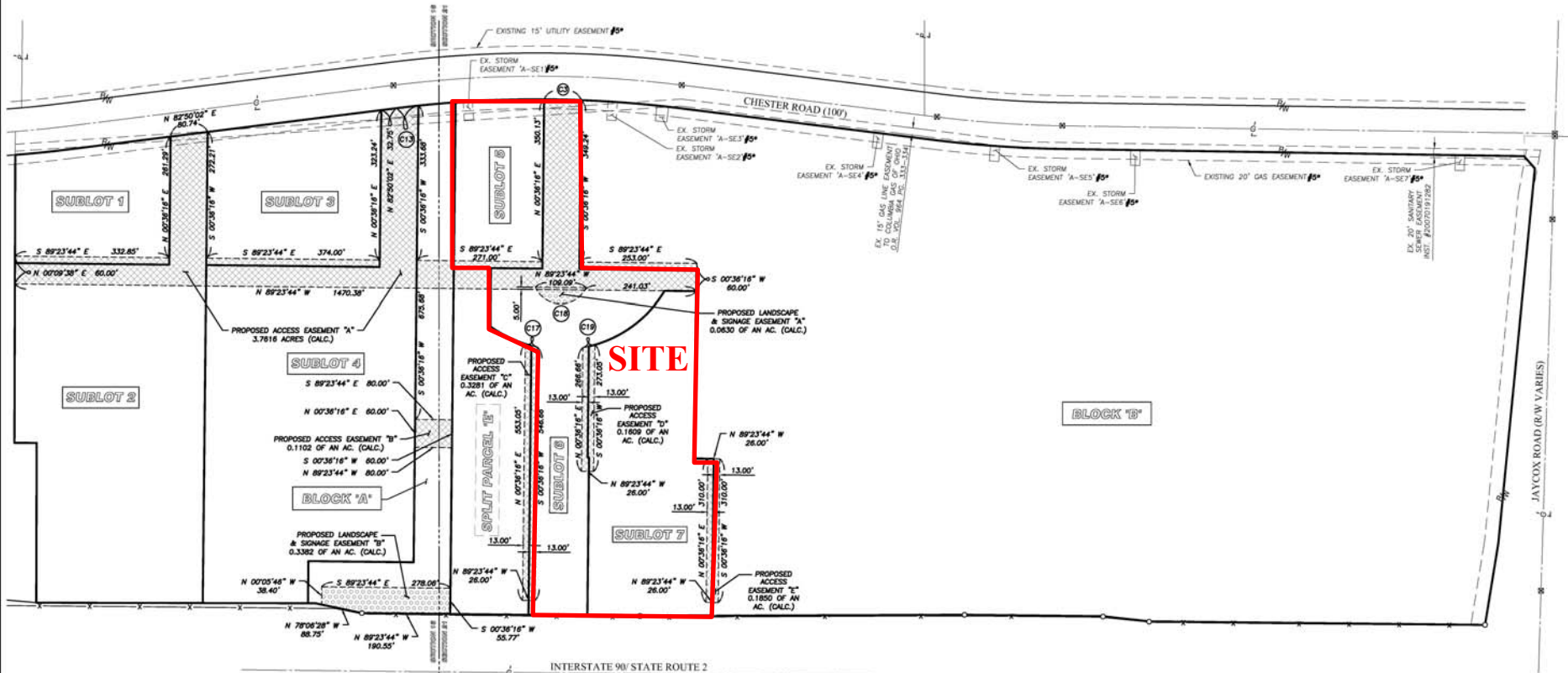


GRAPHIC SCALE
0 50 100 200
(IN FEET)
SCALE: 1" = 100'

EASEMENT NOTE:

UTILITY EASEMENTS AND ALL OTHER PROPOSED EASEMENTS NOT SHOWN ON THIS PLAT HEREON ON SHEET 3 SHALL BE CREATED UNDER SEPARATE INSTRUMENTS.

C15 L=80.01' R=2450.00' TAN=40.01' Δ=01°32'18" CH=80.01' CB=S 88°40'28" E
 C16 L=47.93' R=2450.00' TAN=23.93' Δ=01°07'15" CH=47.93' CB=N 83°23'40" E
 C17 L=26.79' R=2450.00' TAN=13.41' Δ=05°54'10" CH=26.77' CB=N 75°34'52" W
 C18 L=136.92' R=2450.00' TAN=130.91' Δ=130°45'05" CH=109.09' CB=N 89°23'44" W
 C19 L=26.79' R=2450.00' TAN=13.41' Δ=05°54'10" CH=26.77' CB=N 75°47'24" E



LEGEND

- PROPOSED ACCESS EASEMENT
- PROPOSED LANDSCAPE & SIGNAGE EASEMENT

REFERENCES

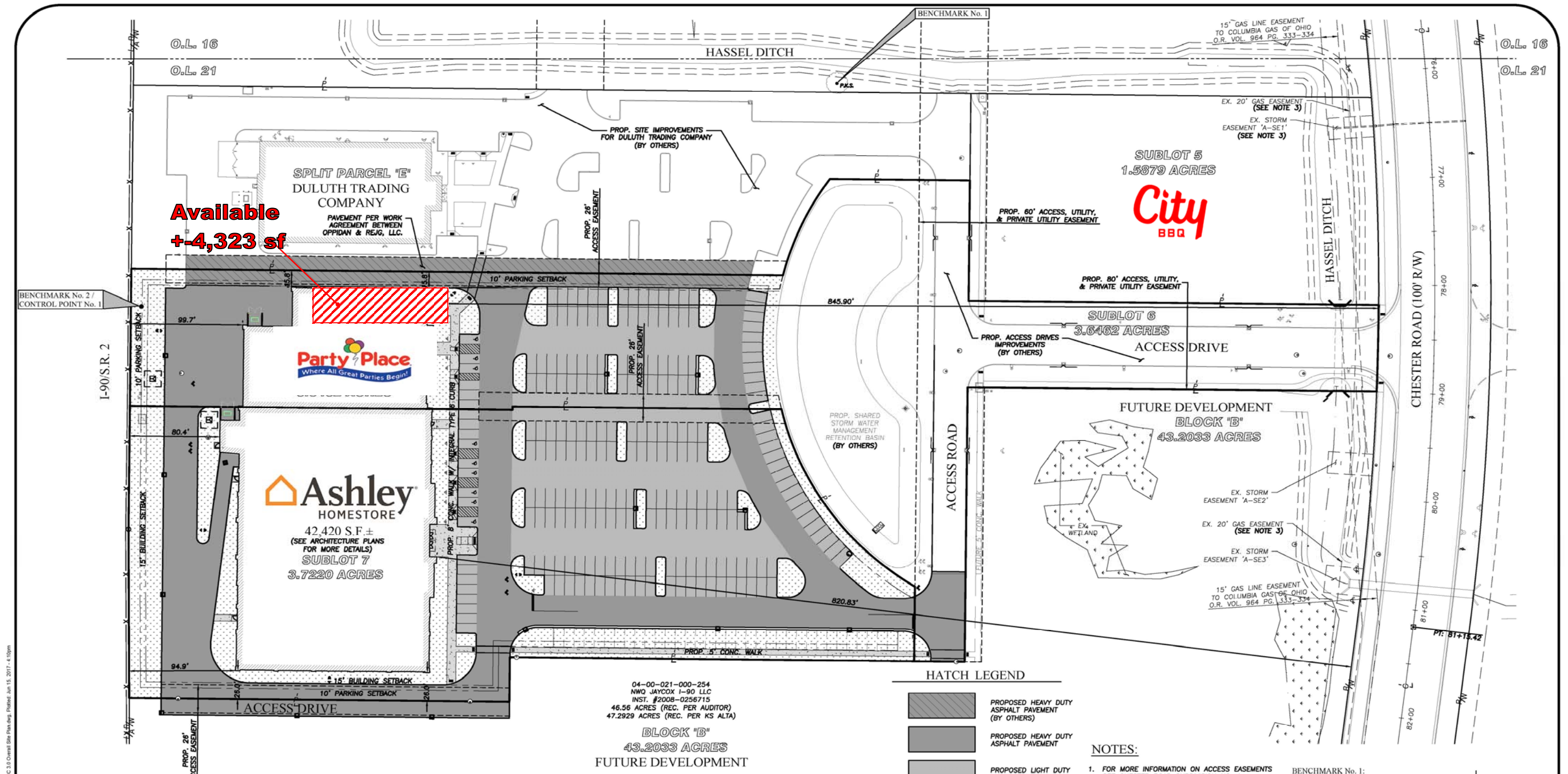
1. LORAIN COUNTY TAX MAP RECORDS.
2. LORAIN COUNTY DEED RECORDS FOR SUBJECT, ADJACENT, & ADJOINING PARCELS.
3. ALTA/ACSM LAND TITLE SURVEY FOR RED HOLLOWING, LLC & FIDELITY NATIONAL TITLE INSURANCE COMPANY, KS ASSOCIATES, INC., MAY 14, 2008.
4. 13.970 ACRE LOT SPLIT SURVEY, BRAMHALL ENGINEERING & SURVEYING COMPANY, JULY 8, 2015.
5. DEDICATION PLAT WITH EASEMENTS FOR CHESTER ROAD RECONSTRUCTION, CHAGRIN VALLEY ENGINEERING, LTD., FEBRUARY 28, 2017, PLAT VOLUME 103, P. 15-19.
6. 2.5800 ACRE LOT SPLIT SURVEY FOR SPLIT PARCEL "E", BRAMHALL ENGINEERING & SURVEYING COMPANY, FEBRUARY 10, 2017.

DRAWN BY:
JAD

CHECKED BY:
AMK

BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

SHEET
3 OF 3
JOB NO.
16-4584



J:\174657 Chester Road Retail Development\Drawings\Improvements\Party\04 C 3.0 Overall Site Plan.dwg, Plotted: Jan 15, 2017 - 4:10pm



REVISION	DATE	BY	DESCRIPTION
	05/01/2017	APA	ISSUE TO CLIENT FOR PRELIMINARY REVIEW
	05/19/2017	APA	ISSUE TO PLANNING COMMISSION
	06/15/2017	APA	ISSUE TO CLIENT AND PLANNING COMMISSION

DRAWN BY:
SJM

CHECKED BY:
APA



BRAMHALL
ENGINEERING AND SURVEYING COMPANY
801 MOORE ROAD AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:

THE BENCHMARK GROUP
4053 MAPLE ROAD
AMHERST, NY 14226
1-800-876-6275

CHESTER ROAD RETAIL DEVELOPMENT -
AREA 3 SITE IMPROVEMENTS
OVERALL SITE PLAN
CITY OF AVON, COUNTY OF LORAIN, STATE OF OHIO

SHEET
C 3.0

JOB NO.
17-4657

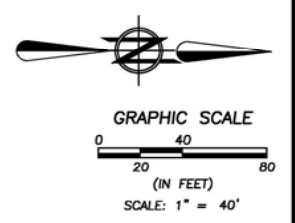
HATCH LEGEND	
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (BY OTHERS)
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED GRASS
	PROPOSED GRASS (FUTURE PAVEMENT AREA)
	PROPOSED SIDEWALK

- NOTES:
- FOR MORE INFORMATION ON ACCESS EASEMENTS SEE CHESTER ROAD SUBDIVISION NO. 1 PREPARED BY BRAMHALL.
 - FOR MORE INFORMATION ON BOUNDARY SEE CHESTER ROAD SUBDIVISION NO. 1 PREPARED BY BRAMHALL.
 - EASEMENTS SHOWN PER DEDICATION PLAT WITH EASEMENTS FOR CHESTER ROAD RECONSTRUCTION, CHAGRIN VALLEY ENGINEERING, LTD., FEBRUARY 28, 2017. PLAT VOLUME 103, P. 15-19.
 - DEPICTED EASEMENTS SHALL BE CREATED UPON THE PROPERTIES SALE VIA A CONSTRUCTION AGREEMENT. THE CITY SHALL BE PROVIDED COPIES OF THE RECORDED DOCUMENTS.

BENCHMARK No. 1:
P.K. NAIL SET IN TREE
ELEV. = 648.26

BENCHMARK No. 2/
CONTROL POINT No. 1:
CAPPED REBAR
N = 655474.02
E = 2103446.59
ELEV. = 648.20

CONTROL POINT No. 2:
P.K. NAIL SET IN WALK
N = 658574.90
E = 2103290.26





AVON, OH



